



**THE CORPORATION OF THE MUNICIPALITY OF SOUTH HURON**  
322 Main Street South, P.O. Box 759, Exeter, Ontario N0M 1S6  
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**WEBSITE:** [www.southhuron.ca](http://www.southhuron.ca)

# **BUILDING PERMIT INFORMATION GUIDE FOR THE HOMEOWNER**

## ***What is a Building Permit?***

A Building Permit is a license that grants permission to start construction of a building project. Permits ensure that the construction within our municipality complies with the construction and safety standards of the Ontario Building Code, zoning regulations and other applicable standards and laws.

## ***What construction projects need a building permit?***

- New buildings such as homes, detached garages, sheds and workshops
- Additions to an existing house such as a room, garage or carport, porch, add a second floor level, finish a basement or an attic
- Decks greater than 2 feet above grade, decks with a roof, and decks less than 2 feet above grade which are attached to the home
- Renovations such as a new bathroom, enclose an existing porch, removal/alteration of interior walls and re-insulating
- Repairs to foundations, basements and crawlspaces
- Replacement of windows/doors if opening made larger
- Installation of a wood burning stove or fireplace
- Pre-fabricated structures, mobile homes and temporary buildings
- Plumbing systems including septic systems, water, sanitary and storm sewers
- New or replacement fencing for the installation of a private swimming pool with a water depth greater than 29.5 inches (75 cm) or an 'Open' Hydro Massage Pool
- Demolition of a residence or accessory structure in an urban area
- Tents larger than 645.84 sq ft (60 M<sup>2</sup>)

**Note: It is the responsibility of the property owner to obtain a permit.**

## ***What projects do not require a building permit?***

- Driveways and sidewalks
- Fences, other than for swimming pools (check Municipal Fence By-Law 51-2005)
- Decks less than 2 feet above finished grade with no roof and not attached to the home
- Replace roof shingles, siding, soffit and fascia, and eave troughs
- Replace existing windows/doors without increasing the opening size
- Installation of new kitchen cupboards
- Construct buildings smaller than 108 sq ft (10 M<sup>2</sup>)

Please note that although a building permit may not be required, **you must still comply with zoning by-laws and other applicable laws and regulations.**

## ***Other permits and approvals that you may need:***

- |                          |                             |                    |
|--------------------------|-----------------------------|--------------------|
| • Septic Permit          | Municipality of South Huron | ph. 1-519-235-0310 |
| • Electrical Permit      | Electrical Safety Authority | ph. 1-877-372-7233 |
| • Plumbing Permit        | Huron County Health Unit    | ph. 1-519-482-3416 |
| • Land Use Permit        | Ministry of Transportation  | ph. 1-800-265-6072 |
| • Land Use Permit        | County of Huron             | ph. 1-888-524-8394 |
| • ABCA Regulation Limit  | Ausable Bayfield C A        | ph. 1-519-235-2610 |
| • UTRCA Regulation Limit | Upper Thames River C A      | ph. 1-519-451-2800 |
| • Potable Water Testing  |                             |                    |
| • Minor variance         | South Huron Planning Dept.  | ph. 1-519-235-0310 |
| • Rezoning               | South Huron Planning Dept.  | ph. 1-519-235-0310 |
| • Severance              | County Planning Dept.       | ph. 1-888-524-8394 |

## ***Length of time to obtain a building permit:***

- Within 10 working days if all required documentation is submitted and zoning regulations including setbacks, lot coverage, etc are met
- Permits may be issued sooner depending on the complexity of the project and the completeness of drawings and submitted information
- There are also exceptions depending on the referral to another department or agency if required, or if special approval(s) such as minor variance, septic, etc., is also required

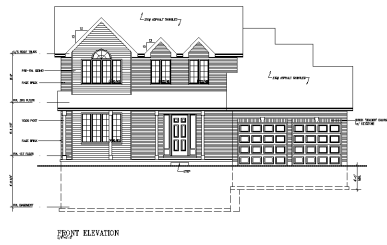
## ***Drawings required for building permits:***

- **Site Plan:**
  - drawn to scale indicating street address, lot number, lot size, property line boundaries, rights-of-way and easements
  - location and size of all existing and proposed buildings
  - actual and proposed setback distances from all property lines
  - actual distance to neighbouring structures for determination of approved construction detail of the proposed exposed building face
  - location of existing septic system, water well, etc. (if applicable)
  - location of hydro lines and underground utilities
  - location, height and description of existing or proposed fences (pool permits)
  - driveways and entrance location
  
- **Lot Grading Plan (if required):**
  - a site plan with existing and finished grade elevations, foundation elevation, including a drainage scheme compatible with existing drainage patterns or an approved subdivision grading plan
  - Signed and stamped by an Ontario Land Surveyor, Professional Engineer or competent designer who is qualified to prepare Lot Grading Plans
  
- **Foundation Plan:**
  - drawn to scale showing basement wall type and sizes
  - strip footing size
  - column and pier footing size and spacing dimensions
  - beams and floor joist sizes and spacing
  - room dimensions with door and window location
  - location of plumbing fixtures, floor drain, furnace, etc.
  
- **Floor Plans:**
  - drawn to scale showing all floors with room names or uses
  - dimensions of rooms, halls, and stairs
  - location of plumbing fixtures, ventilation equipment, smoke and CO detectors, handrails and guards
  - beam, lintel and joist sizes
  - door and window location and sizes
  
- **Cross Section(s):**
  - drawn to scale showing room height, roof pitch, construction details and materials used for the construction of walls, floors, ceiling, and roof
  - depth of footings, type and thickness of foundation
  - finished floor level and finished grade

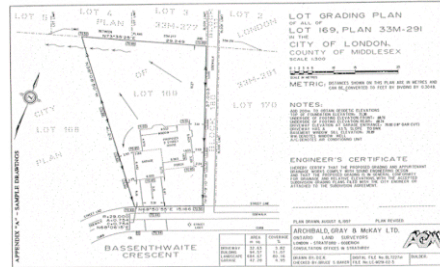
- **Heating, Ventilation And Air Conditioning (HVAC):**
  - duct design drawings are required with heat loss calculations, furnace and air conditioner (if applicable) sizing, from Registered Designer
  - compliance package to be submitted with application
  
- **Elevations:**
  - drawn to scale showing front, rear and sides
  - details of exterior construction details and materials
  - include balconies, bay windows, porches and stairs, and any other exterior encroachment
  - finished floor levels and finished grade
  - overall height of the building
  
- **Truss and Engineered Floor Drawings:**
  - if trusses or I joists are used for roof or floor, the drawings must be stamped by a professional engineer
  
- **Other Engineered Drawings and Information:**
  - if foundations are ICF construction (insulated concrete forms), foundations are underpinned, or special structural design is required, drawings must be stamped by a professional engineer

- Examples of Drawings:**

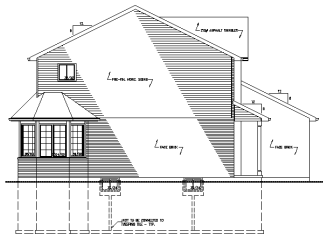
APPENDIX "A" - SAMPLE DRAWINGS



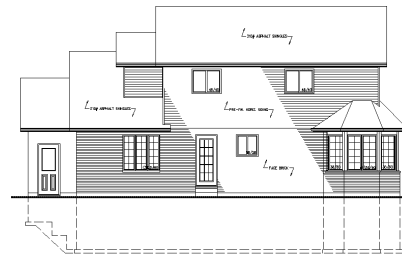
FRONT ELEVATION



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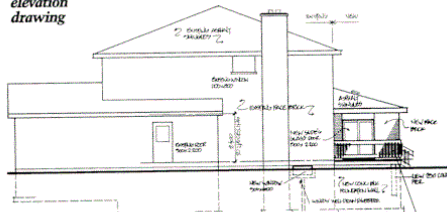


LEFT SIDE ELEVATION



REAR ELEVATION

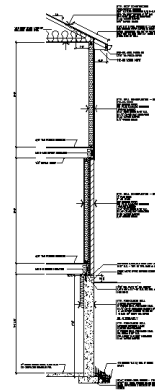
Sample elevation drawing



EXAMPLE ONLY  
LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

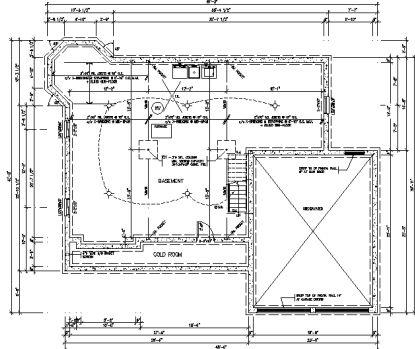
Height requirements, openings in guards and railings may affect your design; refer to the Ontario Building Code or consult a Structural Frame Examiner at the Building Division for more information.

APPENDIX "A" - SAMPLE DRAWINGS

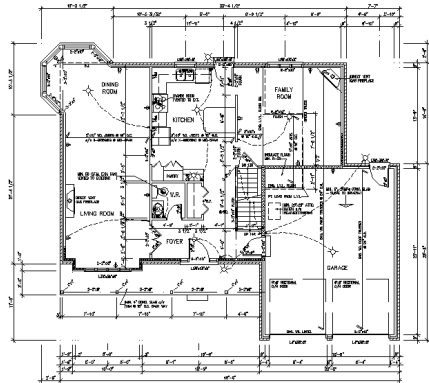


WALL SECTION

APPENDIX "A" - SAMPLE DRAWINGS



BASMENT/FOUNDATION PLAN



FIRST FLOOR PLAN

### ***Submitting your application:***

Complete the building permit application form (and septic permit application form if required) available from the building department or website, and submit it to the building department with:

- 2 sets of building plans (floor plan, foundation, cross section, roof trusses, etc., as appropriate)
- 2 copies of the site plan or property survey
- 2 copies of a site/grading plan from an Ontario Land Surveyor, Professional Engineer, or competent designer who is qualified to prepare Lot Grading Plans if a requirement
- A copy of any additional required approvals as listed under “other permits and approvals that you may need”
- Fees are required and may be paid by cash, cheque, or debit. The fees are determined by the building department and are based on the fee schedule of the current building by-law, the current development charges by-law, or a Subdivision Agreement

The Building Department is located on the second floor of the Municipal Office located at 322 Main St. S, Exeter, Ontario. General enquiries can be made by phone at (519) 235-0310 or fax at (519) 235-3304.

### ***Required inspections:***

**Inspections do not happen automatically. It is the responsibility of the permit holder to notify the building department of the following inspections required by the building code:**

- Storm and sanitary sewer connection, if applicable (contact plumbing inspector)
- Footings, prior to pouring concrete
- Foundation, prior to backfilling
- Underground plumbing (contact plumbing inspector)
- Framing after electrical and plumbing have been installed
- Rough-in plumbing (contact plumbing inspector)
- Insulation and vapour barrier
- Completion of construction to permit occupancy. Requires final plumbing & electrical certificates, potable water testing and septic approval, if applicable. Also may require certified lot grading if it is a requirement of a subdivision agreement at this stage
- Final inspection when project is complete which may include certified lot grading